

GENERAL NOTES:

1. CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM TO: NOTES IN THIS SET OF CONSTRUCTION DOCUMENTS. ALL APPLICABLE LOCAL CODES AND ORDINANCES AS NOTED ELSEWHERE IN THESE DRAWINGS.
2. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
3. THE CONTRACTOR SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL PREPARE A SCHEDULE FOR CONSTRUCTION AND SHALL SUBMIT TO OWNER FOR REVIEW.
4. DIMENSIONS: UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE SHOWN AS FOLLOWS: FACE OF WALL AT MASONRY, INDICATED FACE OF STUD, CENTER LINE, GRID LINE, TOP OF CONCRETE SLAB OR FOUNDATION, TOP OF PLYWOOD, ETC. DRAWINGS SHALL NOT BE SCALED TO DETERMINE ANY DIMENSIONS, REFER ONLY TO WRITTEN INFORMATION AND DETAIL DRAWINGS, OR USE FIGURED DIMENSIONS. DIMENSIONAL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.
5. APPROVALS BY BUILDING INSPECTORS SHALL NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THESE PLANS AND SPECIFICATIONS (CONSTRUCTION DOCUMENTS).
6. OMISSIONS: IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN. IF FEATURES ARE STILL UNCLEAR, CONTACT THE ARCHITECT FOR CLARIFICATION.
7. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE AT THE SITE TO SUPERVISE AND COORDINATE CONSTRUCTION AT ALL TIMES WHILE WORK IS IN PROGRESS.
8. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ARCHITECT. THE OWNER AND THE ARCHITECT SHALL BE NAMED AS ADDITIONAL INSURED'S ON THE CONTRACTOR'S LIABILITY INSURANCE COVERAGE.
9. UNLESS SPECIFICALLY NOTED IN CONTRACT, THE ARCHITECT'S OFFICE WILL NOT BE OBSERVING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FINAL DIMENSIONS, QUANTITIES, COORDINATION OF THE WORK OF ALL TRADES, QUALITY CONTROL, AND CONSTRUCTION STANDARDS FOR THIS PROJECT.
10. SUBCONTRACTORS SHALL DISPOSE OF RUBBISH CAUSED BY THEIR WORK, AND KEEP PREMISES JOB SITE CLEAN OF SUCH RUBBISH. CONTRACTOR SHALL KEEP PREMISES "BROOM CLEAN" AT ALL TIMES.
11. PLANS STAMPED BY ARCHITECT OR ENGINEER CANNOT BE MODIFIED IN ANY WAY EXCEPT BY THE ARCHITECT OR ENGINEER. PLANS MODIFIED BY OTHERS WILL NOT BE ACCEPTED.
12. HEATING AND AIR CONDITIONING, PLUMBING AND ELECTRICAL DRAWINGS OR NOTES INCLUDED HEREIN ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL PROVIDE DESIGN/BUILD DOCUMENTATION FOR THESE ITEMS IN ACCORDANCE WITH THESE DRAWINGS AND CRITERIA IN CONFORMANCE WITH ALL CODES AND ORDINANCES, AND SHALL OBTAIN PERMITS FOR THIS WORK.
13. SITE INFORMATION FOR THESE DRAWINGS WAS TAKEN FROM A SURVEY BY OTHERS, PROVIDED BY THE OWNER. REFERENCE IS HEREBY MADE TO THAT SOURCE AND TO THAT DRAWING FOR ADDITIONAL INFORMATION.

SITE PREPARATION NOTES:

- A. TAKE NECESSARY PRECAUTIONS TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION TO REMAIN.
- B. SOIL DISTURBANCE SHALL BE LIMITED TO THAT WHICH IS NECESSARY FOR FOOTING AND SITE PREPARATION AS DESCRIBED ABOVE. PREVENT WATER FROM RUNNING INTO EXCAVATED AREA.
- C. BACKFILL MATERIAL SHALL BE FREE OF ORGANIC MATTER AND ROCKS OR LUMPS OVER 6 INCHES (2 INCHES AT UTILITY TRENCHES). COMPACT BACKFILL TO AT LEAST 90 PERCENT RELATIVE COMPACTION PER ASTM D-1557; IN LIFTS NOT EXCEEDING 6 INCHES UNCOMPACTED.
- D. DEPRESSION FROM REMOVAL OF OBSTRUCTIONS SHALL BE OPENED TO WORKING SIZE; REMOVE DEBRIS AND SOFT MATERIAL; BACKFILL AND COMPACT AS NECESSARY.
- E. SURFACE DRAINAGE SHALL SLOPE 3% FROM BUILDING FOUNDATIONS FOR A MINIMUM OF 5 FEET AND AT LEAST 1% TO SUITABLE COLLECTION POINTS.
- F. TRENCHING SHALL BE TRUE TO GRADES INDICATED. EXTEND UTILITY TRENCHES TO BE SUFFICIENT DEPTH STANDARDS AND LOCAL CODES. PROPERLY SUPPORT TRENCHES.
- G. UNUSUAL CONDITIONS NOT COVERED BY CONTRACT. IF ENCOUNTERED, SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF DESIGNER.
- H. HAZARDOUS WASTE TESTING SHALL BE PROVIDED INCLUDING ASBESTOS TESTING & REMEDIATION.

DEMO NOTES:

- A. REMOVE COMPONENTS OF EXISTING CONSTRUCTION WHERE INDICATED ON DRAWINGS OR AS REQUIRED TO COMPLETE NEW WORK SHOWN.
- B. PROVIDE ADEQUATE TEMPORARY SUPPORT FOR ALL PORTIONS OF THE EXISTING STRUCTURE WHICH MAY BE AFFECTED BY THE REMOVAL OF ADJACENT OR CONNECTION COMPONENTS, UNTIL PERMANENT SUPPORT AND BRACING HAS BEEN INSTALLED. DO NOT DRILL OR CUT EXISTING JOISTS BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED.
- C. TAKE NECESSARY PRECAUTIONS TO MINIMIZE DAMAGE TO EXISTING COMPONENTS AND FINISHES TO REMAIN.
- D. SALVAGE EXISTING MATERIALS WHICH ARE TO BE REUSED IN THE NEW CONSTRUCTION.
- E. PROPERLY DISPOSE OF ALL REMOVED MATERIALS WHICH WILL NOT BE REUSED IN THE NEW CONSTRUCTION.
- F. WHERE PORTIONS OF THE STRUCTURE HAVE BEEN EXPOSED TO THE ELEMENTS AS A RESULT OF THE REQUIRED DEMOLITION, THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FROM THE WEATHER UNTIL THE EXPOSED PORTIONS HAVE BEEN ENCLOSED BY THE NEW CONSTRUCTION.
- G. PROTECT EXISTING SURFACES TO MINIMIZE REPAIR, CLEANING, AND REFINISHING. RESTORE SURFACES DISTURBED BY DEMOLITION TO ORIGINAL CONDITION AND PATCH SURFACES VISIBLE AFTER DEMOLITION TO MATCH ADJACENT FINISH CONDITIONS.
- H. EXISTING PLUMBING AND ELECTRICAL WORK THAT IS TO BE ABANDONED SHALL BE CAPPED OFF WITHIN EXISTING WALLS SO THAT FINISH SURFACE IS SMOOTH AND UNINTERRUPTED. ABANDONED EXISTING PLUMBING AND ELECTRICAL IN CEILING SPACE SHALL BE REMOVED.

ABBREVIATIONS

At	At
Found or Number	Found or Number
A.B.	Anchor Bolt
A.F.F.	Above Finished Floor
A.F.G.	Above Finished Grade
BLKG.	Blocking
BM.	Beam
B.O.	Bottom Of
C.I.	Contractor Installed
C.F.	Contractor Furnished
CLR.	Clear
C.L.	Center Line
CLNG.	Ceiling
CONT.	Continuous
COL.	Column
DIA.	Diameter
DET.	Detail
D.F.	Douglas Fir
DBL.	Double
(E)	Existing
EA.	Each
EQ.	Equal
E.V.	Each Way
FIN.	Finish
F.O.	Face Of
FT.	Foot or Feet
HDR.	Header
HT.	Height
JST.	Joist
MAX.	Maximum
M.B.	Machine Bolt
MIN.	Minimum
MTD.	Mounted
N.I.C.	Not In Contract
(N)	New
NOM.	Nominal
N.T.S.	Not To Scale
O.	Over
O/A.	Overall
O.F.	Outside Face, Owner Furnished
O.C.	On Center
O.I.	Owner Installed
OPP.	Opposite
PL.	Plate or Property Line
PLY.	Plywood
PTD.	Painted
P.T.	Pressure Treated
REIN.	Reinforced
RET.	Retaining
R.O.	Rough Opening
RWD.	Redwood
S.F.	Square Feet
S.S.D.	See Structural Drawings
SHTG.	Sheathing
SHT.	Sheet
SIM.	Similar
SQ.	Square
STD.	Standard
STR.	Structural
T.B.D.	To be determined
T.O.	Top Of
TYP.	Typical
V.I.F.	Verify In Field
W.	With
W.O.	Where Occurs
W/O.	Without
U.O.N.	Unless Otherwise Noted

NOTE: NOT ALL LEGENDS AND SYMBOLS SHOWN HERE ARE USED

LEGEND

1	DRAWING TITLE	DRAWING TITLE
2	SCALE: 1/8" = 1'-0"	Number
2		Name
2		Scale
2		KEYNOTE
2		Number
2		DOOR ID
2		Number
2		WINDOW ID
2		Number
2		ELECTRICAL ID
2		Number
2		MISC CALLOUT
2		Number
A		DETAIL/ELEVATION ID
1		Number
1		EXTERIOR ELEVATION
1		Direction of view
1		Elevation number
1		Sheet number
A		INTERIOR ELEVATION
1		Elevation number
1		Direction of view
1		Sheet number
1		BUILDING/WALL
1		SECTION
1		Direction of view
1		Section ID
1		Sheet number
1		DETAIL CALLOUT
1		Detail ID
1		Sheet Number
C1		WALL TYPE, SEE
0'-0"		DATUM/CONTROL POINT
		NORTH ARROW
		PROPERTY LINE
		FACE OF FRAMING
		DIMENSION
		FACE OF FINISH
		DIMENSION
		ALIGN FACE OF FINISH

(N) DECK REPLACEMENT & ALTERATION
W/IN (E) SINGLE FAMILY RESIDENCE
FOR:

DAVID PETERSON

750 WELLESLEY AVENUE.
KENSINGTON, CA 94708

SUMMARY OF WORK:

(N) DECK REPLACEMENT & ALTERATION W/IN (E) SINGLE FAMILY RESIDENCE.

1. (N) ENTRY.
2. (N) REPLACEMENT DECK @ REAR YARD.
3. (N) REPLACEMENT DOOR & WINDOWS - SEE SCHEDULE FOR INFO.
4. (N) DOORS - SEE SCHEDULE FOR INFO.
5. (N) REPLACEMENT STAIRS FROM MAIN LEVEL TO SPLIT LEVEL.
6. (N) FIXTURES.
7. (N) WALKWAY & EXT. STAIRS @ REAR & SIDE YARD.

ALL PROPOSED WORK TO CONFORM WITH CURRENT APPLICABLE CODES AND BUILDING STANDARDS.

PROJECT DATA:

APN:	570-152-003-2
CLIMATE ZONE:	3
ZONING DISTRICT:	R-6 (SINGLE FAMILY RESIDENTIAL)
LEGAL DESCRIPTION:	BERKELEY HIGHLANDS ADDN 1 N
YEAR BUILT:	1988
OCCUPANCY:	R-3
USE TYPE:	SINGLE FAMILY RESIDENTIAL
BEDROOMS:	3 (PER COUNTY RECORD)
BATHROOMS:	2 (PER COUNTY RECORD)
CONSTRUCTION TYPE:	V-3
FIRE SPRINKLER:	NO

AREA SUMMARY:

LOT/PARCEL AREA:	5,160 SQ. FT. (0.072 ACRES) - (PER COUNTY RECORD)
BUILDING LIVING AREA:	2,029 SQ. FT. - (PER COUNTY RECORD)

AREA OF WORK CALCULATION:

(N) ENTRY:	51 SQ. FT.
(N) DECK:	51 SQ. FT.
(N) ALTERATION AREA W/IN STAIR HALL:	86 SQ. FT.
TOTAL:	200 SQ. FT.

CODES APPLICABLE:

- ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES AND THE FOLLOWING:
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA GREEN BUILDING STANDARD CODE (CGBSC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC), BASED ON THE 2008 NEC
- 2016 CALIFORNIA ENERGY CODE (CEC) - (2015 ENERGY EFFICIENCY STANDARDS)
- 2016 CALIFORNIA FIRE CODE (CFC)
- 2016 CONTRA COSTA COUNTY CODE (CCCC)

PROJECT DIRECTORY:

ARCHITECTURAL CONSULTANT:

STUDIO NABENA & PARTNERS

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1815 HARMON STREET, SUITE 2
BERKELEY, CA 94708
(415) 966-9744, (415) 202-4230
paul@studionabena.com, info@studionabena.com

CONTRACTOR:

MORE THAN A CARPENTER

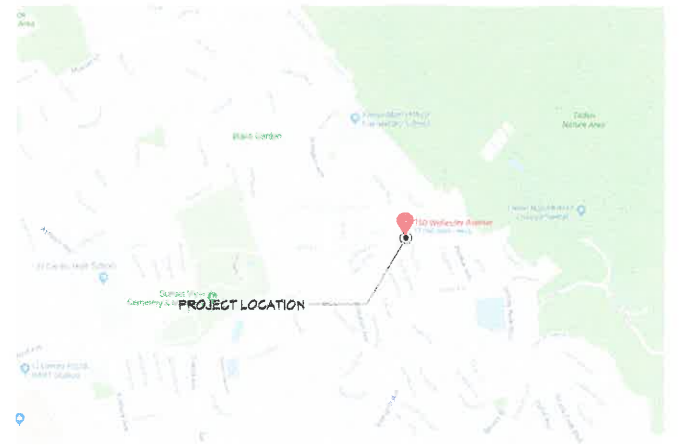
JOHN FERGUSON
1563 SOLANO AVENUE, #211
BERKELEY, CA 94701
(510) 410-9513
jfm@morethanacarpenter.com

SHEET INDEX:

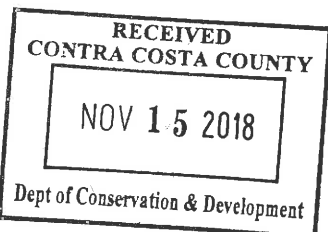
ARCHITECTURAL	COVER SHEET
A1.0	COVER SHEET
A1.1	PERSPECTIVE VIEW, PLOT PLAN
A2.0	LOWER LEVEL FLOOR PLAN - EXISTING, LOWER LEVEL FLOOR PLAN - PROPOSED
A2.1	MAIN LEVEL FLOOR PLAN - EXISTING, MAIN LEVEL FLOOR PLAN - PROPOSED
A2.2	SPLIT LEVEL FLOOR PLAN - EXISTING, SPLIT LEVEL FLOOR PLAN - PROPOSED, SCHEDULES
A3.0	ELEVATIONS - EXISTING
A3.1	ELEVATIONS - PROPOSED



15 PERSPECTIVE VIEW
N.T.S.



8 VICINITY MAP
N.T.S.



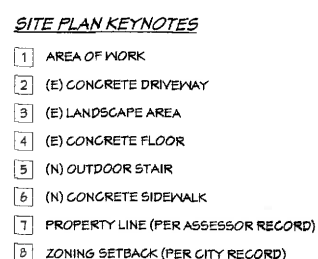
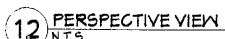
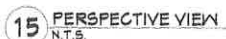
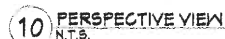
VR18-1034

MTAC
MORE THAN A CARPENTER
1563 Solano Avenue, #211 Berkeley, CA 94707
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WWW.MORETHANACARPENTER.COM

REVISIONS:

PROJECT: (N) DECK REPLACEMENT & ALTERATION W/IN (E) SINGLE FAMILY RESIDENCE
FOR: DAVID PETERSON
750 WELLESLEY AVENUE, KENSINGTON, CA 94708

VARIANCE APPLICATION
SHEET TITLE: NOTES
PERSPECTIVE VIEWS
ABBREVIATION & LEGEND
VICINITY MAP
SUMMARY OF WORK & SHEET INDEX
PROJECT #: A1.0
DATE: 11/15/2018
DRAWN: JFM
SCALE: AS NOTED
SHEET: 8



8 PLOT PLAN
SCALE: 1/8"=1'-0"

WALL / SYMBOL LEGEND

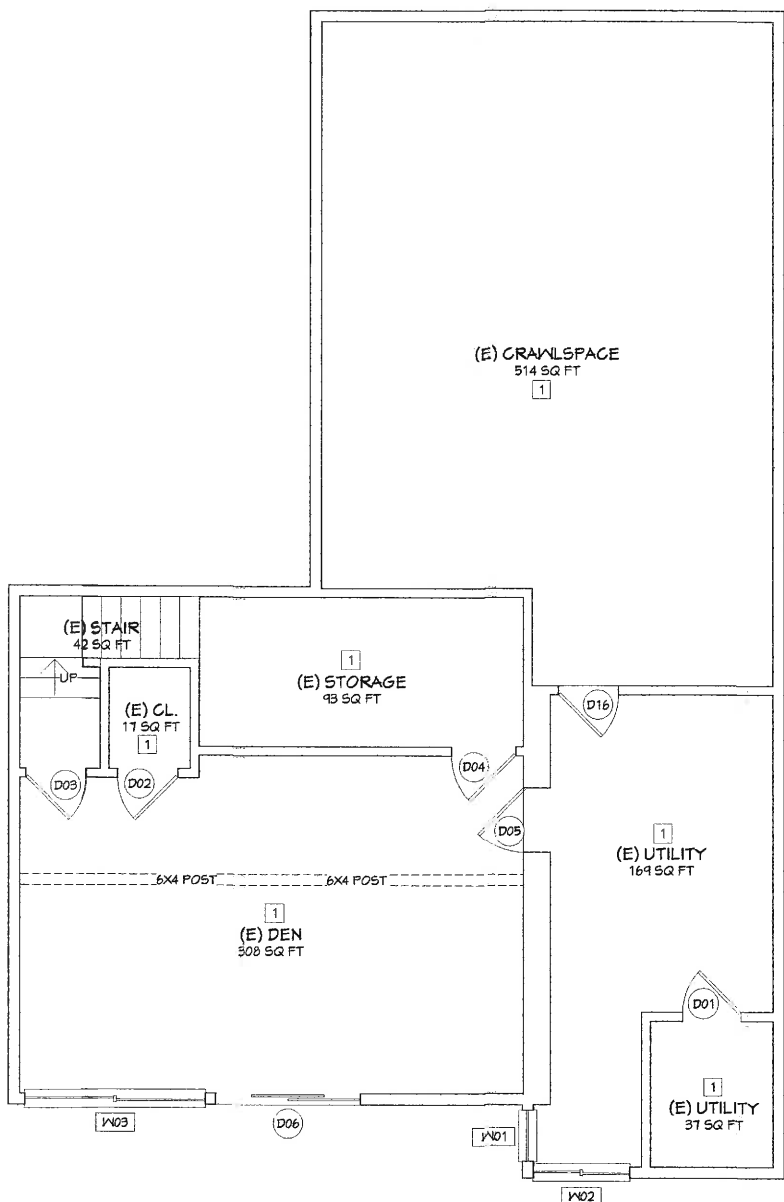
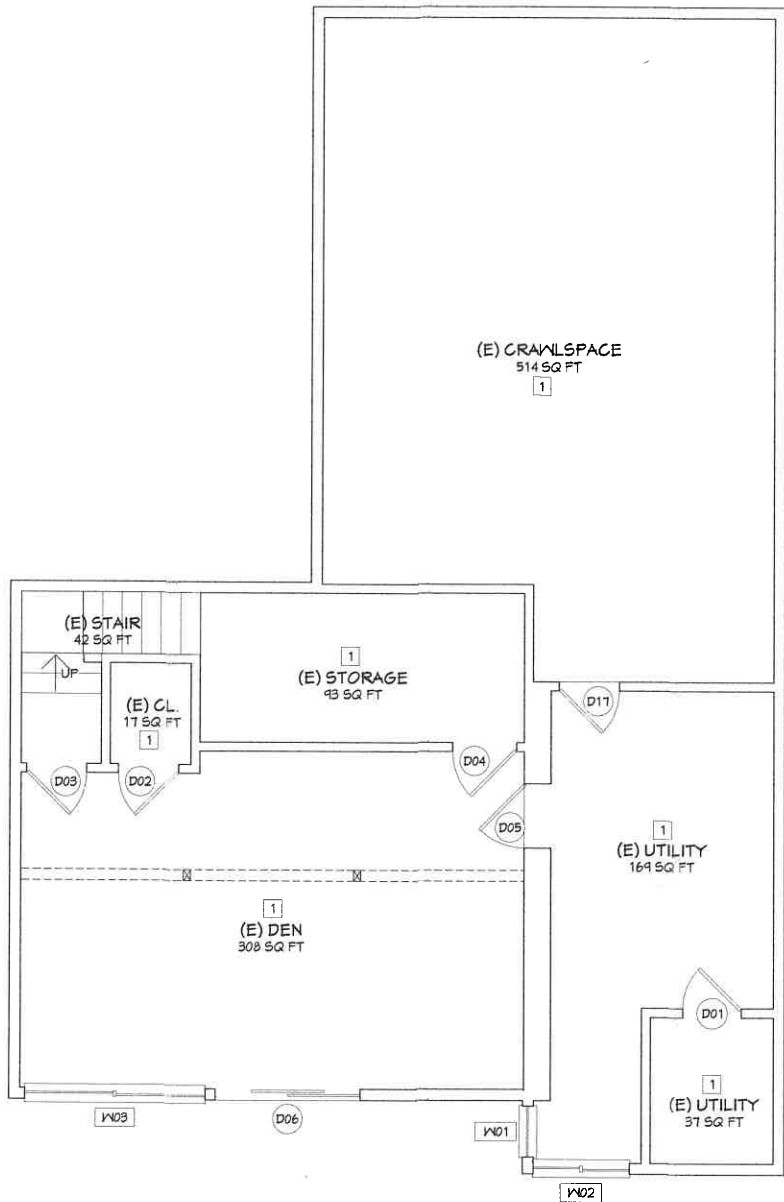
- (E) WOOD FRAME WALL CONSTRUCTION
- (E) WOOD FRAME WALL CONSTRUCTION TO BE REMOVED
- (N) 2X4 WOOD FRAME WALL CONSTRUCTION @ 16" O.C. S.S.D. FOR INFO.
- (N) 2X6 WOOD FRAMED WALL CONSTRUCTION @ 16" O.C. S.S.D. FOR INFO.
- (E) DENOTES EXISTING CONDITION

DEMOLITION PLAN KEYNOTES

- 1 (E) TO REMAIN - NO WORK
- 2 PORTION OF (E) EXT. WALL TO BE REMOVED
- 3 PORTION (E) INT. WALL TO BE REMOVED
- 4 (E) HALF WALL TO BE REMOVED
- 5 FOOTPRINT OF ORIGINAL FAILED DECK
- 6 (E) OVERHANG TO REMAIN
- 7 (E) STAIRS TO BE REMOVED
- 8 (E) STAIRS TO BE REPLACED W/ (N)
- 9 (E) FIXTURES TO BE REMOVED

PROPOSED PLAN KEYNOTES

- 1 (E) TO REMAIN - NO WORK
- 2 (N) EXT. WALL FRAMING W/ VERTICAL SIDING TO MATCH (E)
- 3 (N) 2X4 INT. STUD WALL FRAMING TYPE
- 4 (N) 42" CABLE GUARDRAIL - METAL
- 5 (E) OVERHANG TO REMAIN
- 6 (N) STAIRS & 36" CABLE HANDRAIL - METAL
- 7 (N) REPLACEMENT STAIRS & 36" CABLE HANDRAIL - METAL
- 8 (N) EXT. REDWOOD STAIRS & 36" HANDRAIL W/ METAL MESH INFILL
- 9 (N) REPLACEMENT REDWOOD DECK & 42" HANDRAIL W/ METAL MESH INFILL
- 10 (N) FIXTURES - SELECTION BY OWNER



WALL / SYMBOL LEGEND

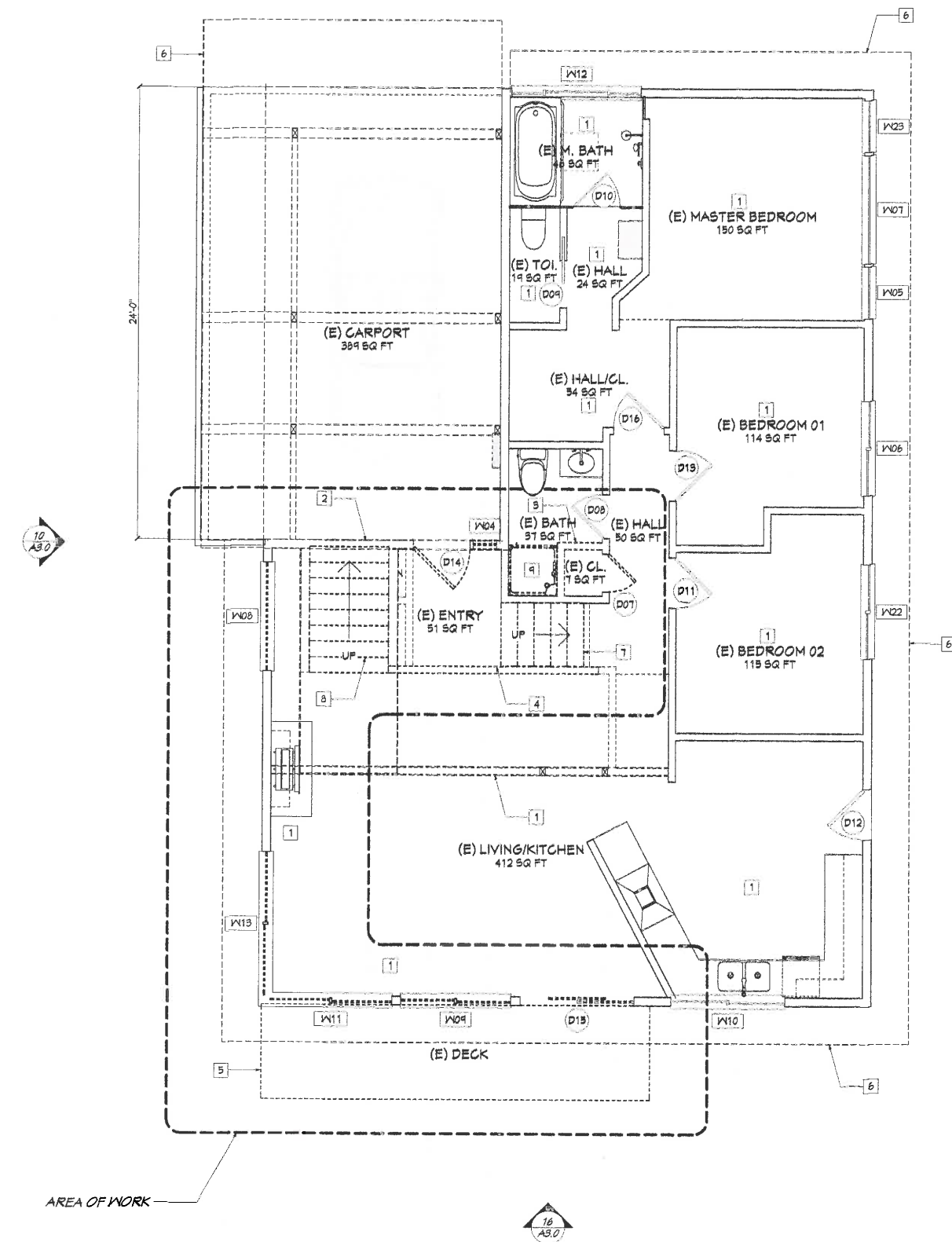
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DEMOLITION PLAN KEYNOTES

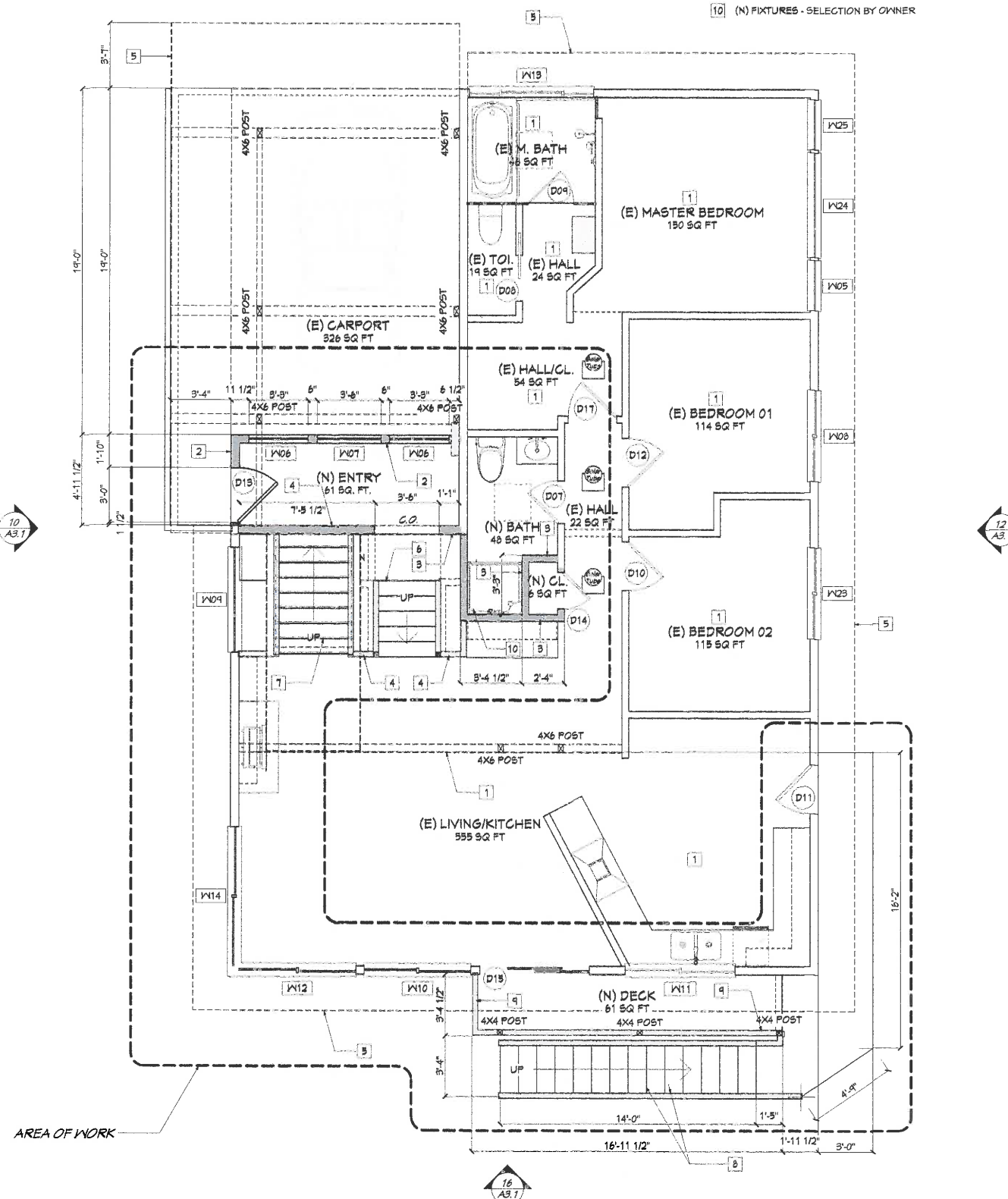
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- (E) FIXTURES TO BE REMOVED

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- (N) FIXTURES - SELECTION BY OWNER



16 MAIN LEVEL FLOOR PLAN - EXISTING
SCALE: 1/4"=1'-0"



8 MAIN LEVEL FLOOR PLAN - PROPOSED
SCALE: 1/4"=1'-0"

REVISIONS:

PROJECT: (N) DECK REPLACEMENT & ALTERATION
WIN (E) SINGLE FAMILY RESIDENCE

FOR: **DAVID PETERSON**

750 WELLESLEY AVENUE, KENNINGTON, CA 94708

VARIANCE APPLICATION

SHEET TITLE:
MAIN LEVEL FLOOR PLAN - EXISTING
MAIN LEVEL FLOOR PLAN - PROPOSED

PROJECT R:
DATE:
DRAWN:
SCALE: AS NOTED
SHEET:

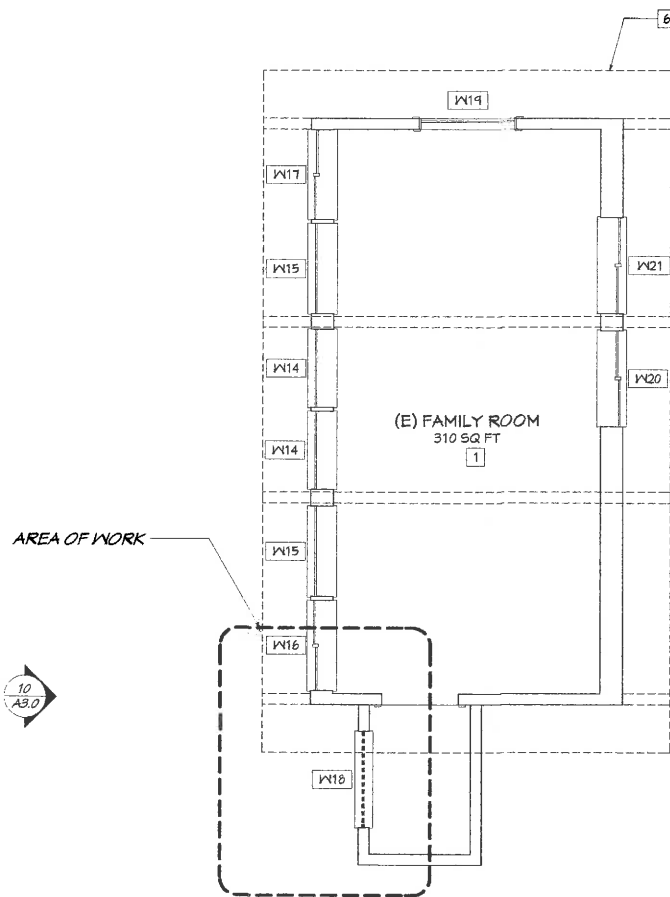
OF: **A2.1**

WALL / SYMBOL LEGEND

- (E) WOOD FRAME WALL CONSTRUCTION
--- (E) WOOD FRAME WALL CONSTRUCTION TO BE REMOVED
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DEMOLITION PLAN KEYNOTES

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8 (E) STAIRS TO BE REPLACED W/ (N)
9 (E) FIXTURES TO BE REMOVED

15 SPLIT LEVEL FLOOR PLAN - EXISTING
SCALE: 1/4"=1'-0"

EXISTING DOORS

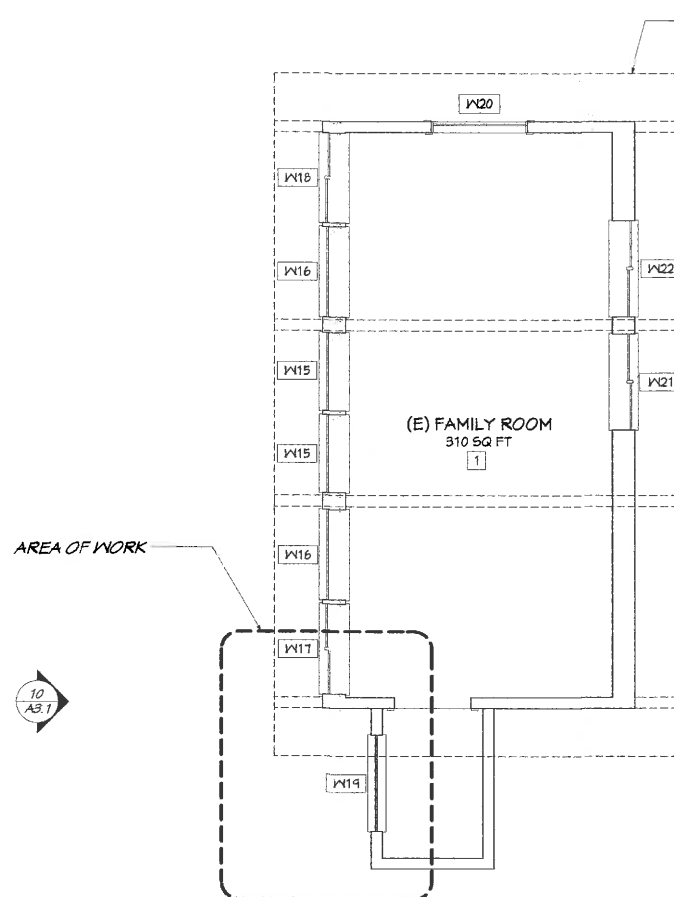
NUMBER	QTY	ROOM NAME	FLOOR	SIZE	DOOR SCHEDULE			COMMENTS
					TEMPERED	DESCRIPTION		
D01	1	(E) UTILITY (E) UTILITY	1	2568 R IN		HINGED-PANEL		(E) TO REMAIN
D02	1	(E) CL (E) DEN	1	2668 L IN		HINGED-PANEL		(E) TO REMAIN
D03	1	(E) STAIR (E) DEN	1	2668 R IN		HINGED-PANEL		(E) TO REMAIN
D04	1	(E) STORAGE (E) DEN	1	2668 L IN		HINGED-PANEL		(E) TO REMAIN
D05	1	(E) DEN (E) UTILITY	1	2668 R IN		HINGED-PANEL		(E) TO REMAIN
D06	1	(E) DEN	1	6068 R EX	YES	EXT. SLIDER-GLASS		(E) TO REMAIN
D07	1	(E) HALL (E) CL	2	2068 L IN		HINGED-SLAB		(E) TO BE REMOVED
D08	1	(E) HALL (E) BATH	2	2468 L IN		HINGED-PANEL		(E) TO REMAIN
D09	1	(E) TOI (E) HALL	2	2668 R		POCKET-DOOR P04		(E) TO REMAIN
D10	1	(E) HALL (E) M. BATH	2	2676 L IN		HINGED-SLAB		(E) TO REMAIN
D11	1	(E) BEDROOM 02 (E) HALL	2	2868 L IN		HINGED-PANEL		(E) TO REMAIN
D12	1	(E) LIVING/KITCHEN	2	2868 R EX		EXT. HINGED-GLASS		(E) TO REMAIN
D13	1	(E) BEDROOM 01 (E) HALL	2	2868 R IN		HINGED-PANEL		(E) TO REMAIN
D14	1	(E) ENTRY (E) CARPORT	2	3068 R IN	YES	HINGED-SLAB		(E) TO BE REMOVED
D15	1	(E) LIVING/KITCHEN	2	6068 R EX	YES	EXT. SLIDER-GLASS		(E) TO BE REPLACED W/ (N)
D16	1	(E) HALL (E) HALL/CL	2	2868 R IN		HINGED-PANEL		(E) TO REMAIN
D17	1	(E) UTILITY (E) CRAWLSPACE	1	2668 R IN		HINGED-PANEL		(E) TO REMAIN

EXISTING WINDOWS

NUMBER	QTY	ROOM NAME	FLOOR	SIZE	WINDOW SCHEDULE			COMMENTS
					EGRESS	TEMPERED	DESCRIPTION	
W01	1	(E) UTILITY	1	2243FX			FIXED GLASS	(E) TO REMAIN
W02	1	(E) UTILITY	1	4050RS			RIGHT SLIDING	(E) TO REMAIN
W03	1	(E) DEN	1	7640RS			RIGHT SLIDING	(E) TO REMAIN
W04	1	(E) ENTRY (E) CARPORT	2	1368FX	YES		FIXED GLASS	(E) TO BE REMOVED
W05	1	(E) MASTER BEDROOM	2	2440SC	YES	YES	SNGL CASEMENT-HL	(E) TO REMAIN
W06	1	(E) BEDROOM 01	2	3040RS	YES		RIGHT SLIDING	(E) TO REMAIN
W07	1	(E) MASTER BEDROOM	2	3440FX	YES		FIXED GLASS	(E) TO REMAIN
W08	1	UNSPECIFIED	2	3440FX			FIXED GLASS	(E) TO BE REPLACED W/ (N)
W09	1	(E) LIVING/KITCHEN	2	51040RS			RIGHT SLIDING	(E) TO BE REPLACED W/ (N)
W10	1	(E) LIVING/KITCHEN	2	6032RS		YES	RIGHT SLIDING	(E) TO REMAIN
W11	1	(E) LIVING/KITCHEN	2	6540RS			RIGHT SLIDING	(E) TO BE REPLACED W/ (N)
W12	1	(E) M. BATH	2	61015TS		YES	TRIPLE SLIDING	(E) TO REMAIN
W13	1	(E) LIVING/KITCHEN	2	7140RS			RIGHT SLIDING	(E) TO BE REPLACED W/ (N)
W14	2	(E) FAMILY ROOM	3	3356FX		YES	FIXED GLASS	(E) TO REMAIN
W15	2	(E) FAMILY ROOM	3	3456FX		YES	FIXED GLASS	(E) TO REMAIN
W16	1	(E) FAMILY ROOM	3	3456LS		YES	LEFT SLIDING	(E) TO REMAIN
W17	1	(E) FAMILY ROOM	3	3456RS		YES	RIGHT SLIDING	(E) TO REMAIN
W18	1	(E) FAMILY ROOM	3	4022FX			FIXED GLASS	(E) TO BE REPLACED W/ (N)
W19	1	(E) FAMILY ROOM	3	4040FX		YES	FIXED GLASS-CT	(E) TO REMAIN
W20	1	(E) FAMILY ROOM	3	4020LS			LEFT SLIDING	(E) TO REMAIN
W21	1	(E) FAMILY ROOM	3	4020RS			RIGHT SLIDING	(E) TO REMAIN
W22	1	(E) BEDROOM 02	2	5040RS	YES	YES	RIGHT SLIDING	(E) TO REMAIN
W23	1	(E) MASTER BEDROOM	2	2440SC	YES	YES	SNGL CASEMENT-HR	(E) TO REMAIN

PROPOSED PLAN KEYNOTES

- 1 (E) TO REMAIN - NO WORK
2 (N) EXT. WALL FRAMING W/ VERTICAL SIDING TO MATCH (E)
3 (N) 2x4 INT. STUD WALL FRAMING TYPE
4 (N) 42" CABLE GUARDRAIL - METAL
5 (E) OVERHANG TO REMAIN
6 (N) STAIRS & 36" CABLE HANDRAIL - METAL
7 (N) REPLACEMENT STAIRS & 36" CABLE HANDRAIL - METAL
8 (N) EXT. REDWOOD STAIRS & 36" HANDRAIL W/ METAL MESH INFILL
9 (N) REPLACEMENT REDWOOD DECK & 42" HANDRAIL W/ METAL MESH INFILL
10 (N) FIXTURES - SELECTION BY OWNER

17 SPLIT LEVEL FLOOR PLAN - PROPOSED
SCALE: 1/4"=1'-0"

DOORS (PROPOSED)

NUMBER	QTY	ROOM NAME	FLOOR	SIZE	DOOR SCHEDULE			COMMENTS
					FIRE	U-FACTOR	DESCRIPTION	
D01	1	(E) UTILITY (E) UTILITY	1	2568 R IN	0.3		HINGED-PANEL	(E) TO REMAIN
D02	1	(E) CL (E) DEN	1	2668 L IN	0.3		HINGED-PANEL	(E) TO REMAIN
D03	1	(E) STAIR (E) DEN	1	2668 R IN	0.3		HINGED-PANEL	(E) TO REMAIN
D04	1	(E) STORAGE (E) DEN	1	2668 L IN	0.3		HINGED-PANEL	(E) TO REMAIN
D05	1	(E) DEN (E) UTILITY	1	2668 R IN	0.3		HINGED-PANEL	(E) TO REMAIN
D06	1	(E) DEN	1	6068 R EX	0.3		EXT. SLIDER-GLASS	(E) TO REMAIN
D07	1	(E) HALL (N) BATH	2	2468 L IN	0.3		HINGED-PANEL	(E) TO REMAIN
D08	1	(E) TOI (E) HALL	2	2668 R	0.3		POCKET-DOOR P04	(E) TO REMAIN
D09	1	(E) HALL (E) M. BATH	2	2676 L IN	0.3		HINGED-SLAB	(E) TO REMAIN
D10	1	(E) BEDROOM 02 (E) LIVING/KITCHEN	2	2868 L IN	0.3		HINGED-PANEL	(E) TO REMAIN
D11	1	(E) LIVING/KITCHEN	2	2868 R EX	0.3		EXT. HINGED-GLASS	(E) TO REMAIN
D12	1	(E) BEDROOM 01 (E) HALL	2	2868 R IN	0.3		HINGED-PANEL	(E) TO REMAIN
D13	1	(N) ENTRY (E) CARPORT	2	3068 R IN	0.3		HINGED-GLASS	(N) DOOR
D14	1	(E) LIVING/KITCHEN (N) CL	2	2068 L IN	0.3		HINGED-PANEL	(N) DOOR
D15	1	(E) LIVING/KITCHEN (N) DECK	2	6068 R IN	0.3		SLIDER-GLASS	(N) REPLACEMENT DOOR
D16	1	(E) UTILITY (E) CRAWLSPACE	1	2668 R IN	0.3		HINGED-PANEL	(E) TO REMAIN
D17	1	(E) HALL (E) HALL/CL	2	2868 R IN	0.3		HINGED-PANEL	(E) TO REMAIN

WINDOWS (PROPOSED)

NUMBER	QTY	ROOM NAME	FLOOR	SIZE	WINDOW SCHEDULE			COMMENTS
					EGRESS	TEMPERED	DESCRIPTION	
W01	1	(E) UTILITY	1	2243FX			FIXED GLASS	(E) TO REMAIN
W02	1	(E) UTILITY	1	4050RS			RIGHT SLIDING	(E) TO REMAIN
W03	1	(E) DEN	1	7640RS			RIGHT SLIDING	(E) TO REMAIN
W04	1	(E) MASTER BEDROOM	2	2440SC	YES	YES	SNGL CASEMENT-HL	(E) TO REMAIN
W05	2	(N) ENTRY (E) CARPORT	2	3356FX	YES	YES	FIXED GLASS	(N) WINDOW
W06	1	(N) ENTRY (E) CARPORT	2	3654FX	YES	YES	FIXED GLASS	(N) WINDOW
W07	1	(E) BEDROOM 01	2	3040RS	YES	YES	RIGHT SLIDING	(E) TO REMAIN
W08	1	(E) LIVING/KITCHEN	2	3440FX	YES	YES	FIXED GLASS	(N) REPLACEMENT WINDOW
W09	1	(E) LIVING/KITCHEN	2	51040RS	YES	YES	RIGHT SLIDING	(N) REPLACEMENT WINDOW
W10	1	(E) LIVING/KITCHEN (N) DECK	2	6032RS			RIGHT SLIDING	(E) TO REMAIN
W11	1	(E) LIVING/KITCHEN	2	6540RS		YES	RIGHT SLIDING	(N) REPLACEMENT WINDOW
W12	1	(E) M. BATH	2	61015TS		YES	TRIPLE SLIDING	(E) TO REMAIN
W13	1	(E) LIVING/KITCHEN	2	7140RS		YES	RIGHT SLIDING	(N) REPLACEMENT WINDOW
W14	2	(E) FAMILY ROOM	3	3356FX		YES	FIXED GLASS	(E) TO REMAIN
W15	2	(E) FAMILY ROOM	3	3456FX		YES	FIXED GLASS	(E) TO REMAIN
W16	1	(E) FAMILY ROOM	3	3456LS		YES	LEFT SLIDING	(E) TO REMAIN
W17	1	(E) FAMILY ROOM	3	3456RS		YES	RIGHT SLIDING	(E) TO REMAIN
W18	1	(E) FAMILY ROOM	3	4022FX		YES	FIXED GLASS	(N) REPLACEMENT WINDOW
W19	1	(E) FAMILY ROOM	3	4040FX		YES	FIXED GLASS-CT	(E) TO REMAIN
W20	1	(E) FAMILY ROOM	3	4020LS			LEFT SLIDING	(E) TO REMAIN
W21	1	(E) FAMILY ROOM	3	4020RS			RIGHT SLIDING	(E) TO REMAIN
W22	1	(E) BEDROOM 02	2	5040RS	YES	YES	RIGHT SLIDING	(E) TO REMAIN
W23	1	(E) MASTER BEDROOM	2	2440SC	YES	YES	SNGL CASEMENT-HR	(E) TO REMAIN

MTAC
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REVISIONS:

PROJECT: (N) DECK REPLACEMENT & ALTERATION
WIN (E) SINGLE FAMILY RESIDENCEFOR:
DAVID PETERSON

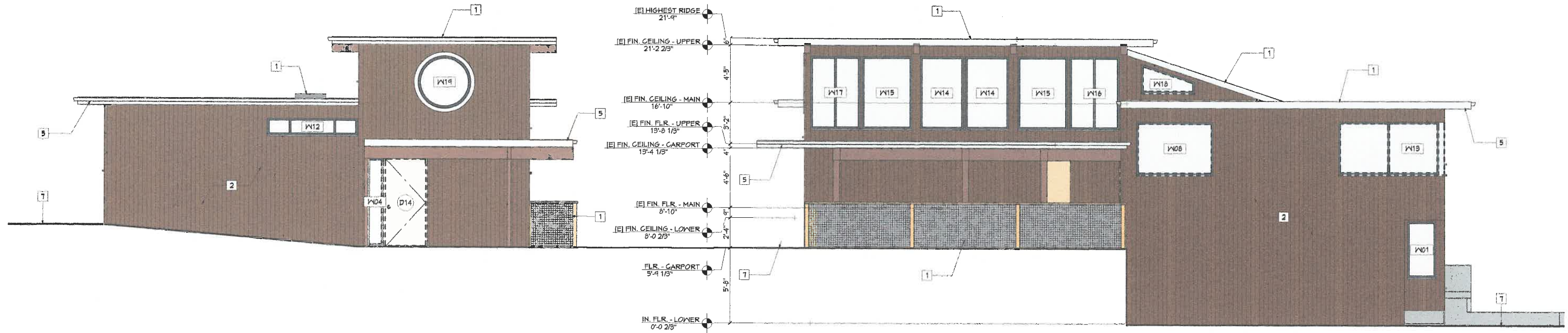
150 WELLESLEY AVENUE KENSINGTON, CA 94708

VARIANCE APPLICATION

SHEET TITLE:

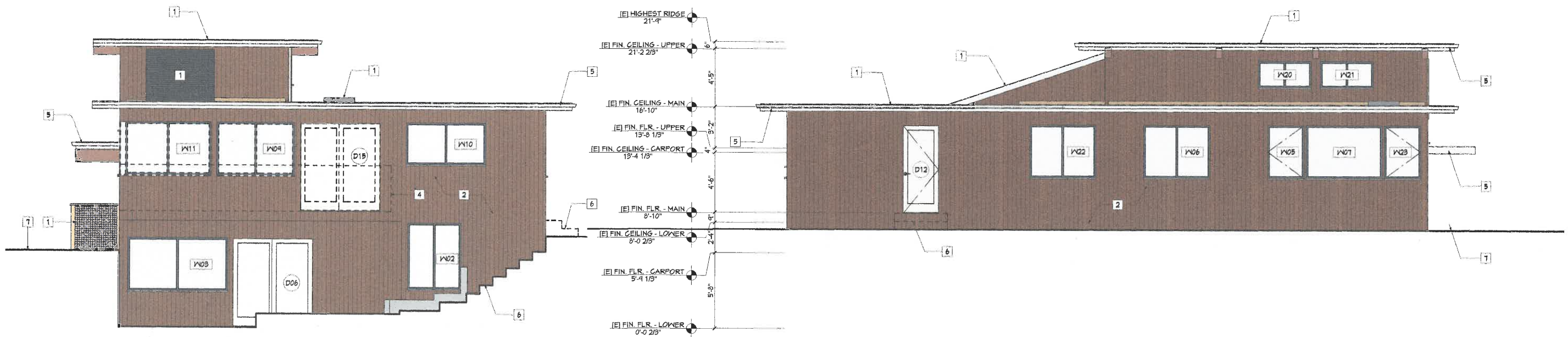
SPLIT LEVEL FLOOR PLAN - EXISTING
SPLIT LEVEL FLOOR PLAN - PROPOSED
SCHEDULESPROJECT #:
DATE:
DRAWN:
SCALE: AS NOTED
SHEET:

A2.2



14 FRONT ELEVATION - EXISTING/DEMOLITION
SCALE: 1/4"=1'-0"

10 RIGHT SIDE ELEVATION - EXISTING/DEMOLITION
SCALE: 1/4"=1'-0"



16 REAR ELEVATION - EXISTING/DEMOLITION
SCALE: 1/4"=1'-0"

12 LEFT SIDE ELEVATION - EXISTING/DEMOLITION
SCALE: 1/4"=1'-0"

DEMOLITION ELEVATION KEYNOTES

- 1 (E) TO REMAIN - NO WORK
- 2 (E) EXT. WALL W/ VERTICAL SIDING TO REMAIN
- 3 PORTION OF (E) EXT. WALL W/ VERTICAL SIDING TO BE REMOVED
- 4 PORTION OF ORIGINAL FAILED DECK
- 5 (E) OVERHANG TO REMAIN
- 6 (E) EXT. STAIRS TO BE REPLACED W/ (N)
- 7 FINISH GRADE

VARIANCE APPLICATION
SHEET TITLE:
ELEVATIONS - EXISTING/DEMOLITION

PROJECT #:
DATE:
DRAWN:
SCALE: AS NOTED
SHEET:

OF: **A3.0**

REVISIONS:

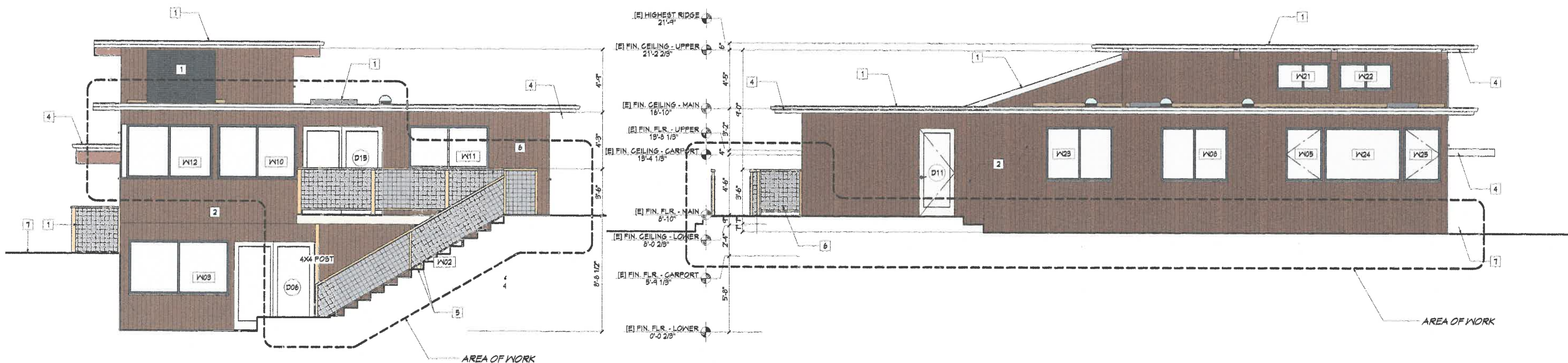
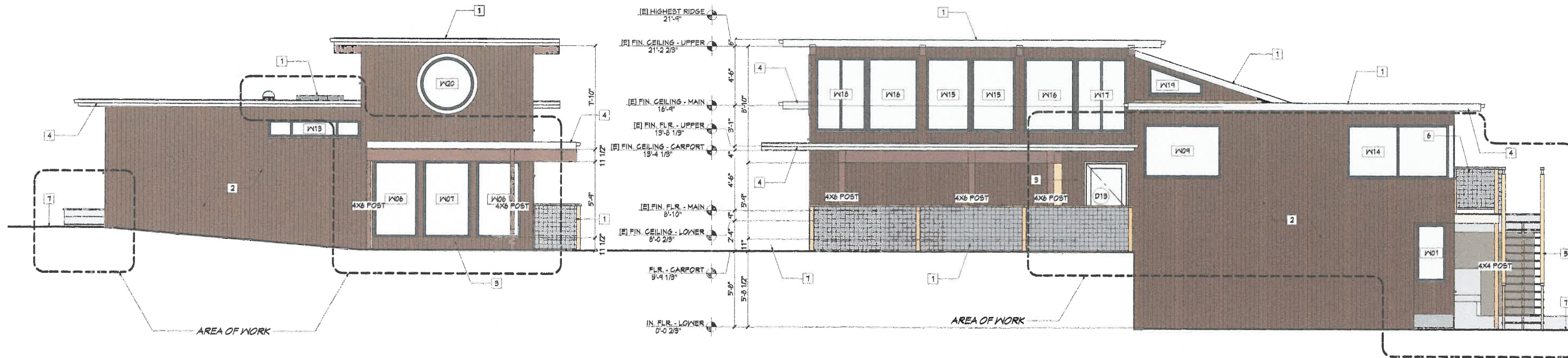
PROJECT:
(N) DECK REPLACEMENT & ALTERATION
WIN (E) SINGLE FAMILY RESIDENCE

FOR:
DAVID PETERSON

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PROPOSED ELEVATION KEYNOTES

- 1 (E) TO REMAIN - NO WORK
- 2 (E) EXT. WALL W/ VERTICAL SIDING TO REMAIN
- 3 (N) EXT. WALL W/ VERTICAL SIDING TO MATCH (E)
- 4 (E) OVERHANG TO REMAIN
- 5 (N) EXT. REDWOOD STAIRS & 36" HANDRAIL W/ METAL MESH INFILL
- 6 (N) REPLACEMENT REDWOOD DECK & 42" HANDRAIL W/ METAL MESH INFILL
- 7 FINISH GRADE

VARIANCE APPLICATION

SHEET TITLE:
ELEVATIONS - PROPOSED

PROJECT #:
DATE:
DRAWN:
SCALE: AS NOTED
SHEET:

OP: **A3.1**

REVISIONS:

PROJECT:
(N) DECK REPLACEMENT & ALTERATION
WIN (E) SINGLE FAMILY RESIDENCE

FOR:
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